

Vermont Model Code v0.1

Intent

Creation of by-right zoning districts which create predictable built outcomes for developers and residents alike.

Goals include:

1. Creating lively public spaces
2. Ensure that village centers and small businesses can thrive
3. Create expanded housing options
4. Reuse, enhance, or preserve significant historic structure

How to read this document

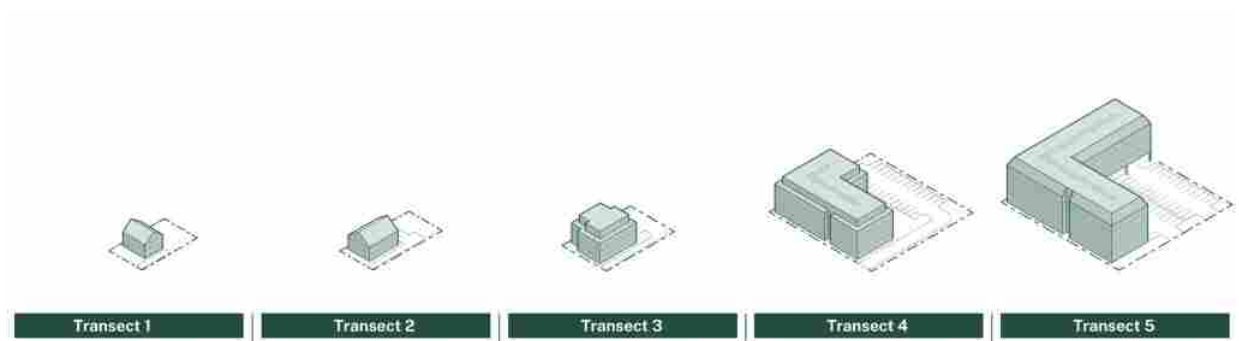
Like the draft maps, the draft zoning ordinance is intentionally meant to be reviewed and updated. This is also a working document. Some items may not be fully resolved and other items may require further refinement in advance of a vote to adopt this zoning ordinance.

Blue text indicates elements of the code that are intended to be optional.

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1. Establishment and Purpose of Transects



1. Establishment of Transects

a. Vermont Transect 1: Rural Neighborhood

This district aligns with historic single family neighborhood development, and allows for the development of 1-3 family homes.

b. Vermont Transect 2: Village Neighborhood

This district aligns with the scale of historic small multifamily homes, and allows for the development of 3-6 unit buildings.

c. Vermont Transect 3: Village Center

This district aligns with historic village center development and is appropriate for small multifamily homes and mixed use buildings, generally up to 16 units per building.

d. Vermont Transect 4: Urban Mid-Rise

This district is aligned with denser downtowns, and supports mid-scale multifamily and mixed-use projects.

e. Vermont Transect 5: Urban Downtown

This district supports urban downtown development and is appropriate for large-scale multifamily projects

2. Administration

Note: this section is a preliminary framework for administration, and is still in development and review. It aims to be as simple as possible, and relies heavily on the legal structure created by Vermont state law.

a. Administration under State Law

1. These bylaws shall be administered and enforced in accordance with [24 V.S.A. chapter 117](#).
2. Where a mandatory provision of State law conflicts with these bylaws, State law controls.
3. Procedures governed by State law — including appointment and general authority of the Administrative Officer, proceedings before an Appropriate Municipal Panel, appeals, permit effectiveness, and enforcement — need not be repeated in these bylaws except where necessary to establish a local rule or make these bylaws easier to administer.

b. Administrative Officer

1. Except for an application assigned to an Appropriate Municipal Panel by a specific provision of these bylaws or by a mandatory provision of State law, the Administrative Officer shall administer these bylaws and decide applications for zoning permits.
2. The Administrative Officer shall apply the express requirements of these bylaws literally and shall not deny a permit, impose a condition, or require modification of a proposal based on a criterion that is not expressly stated and applicable to the proposed development.

c. Zoning Permit

1. Except for land development expressly exempt from a zoning permit by these bylaws or State law, no land development regulated by these bylaws shall commence without a zoning permit issued by the Administrative Officer.
2. A zoning permit authorizes only the development shown in the approved application and only to the extent that the development complies with these bylaws and applicable law.
3. Nothing in a zoning permit relieves an applicant from obtaining another municipal, State, or federal approval required for the proposed development.
4. Notice, posting, delivery, recording, and effectiveness of a zoning permit shall be governed by [24 V.S.A. § 4449](#).

d. Applications

1. An application for a zoning permit is complete when it includes:

- a. the application form and required fee;
 - b. the plans, drawings, dimensions, calculations, or other materials expressly required by these bylaws for the proposed development; and
 - c. information reasonably necessary to determine compliance with an identified provision of these bylaws.
2. If the Administrative Officer determines that an application is incomplete, the officer shall identify the information necessary to make it complete and the provision of these bylaws for which the information is needed.
3. The Administrative Officer may not require information unrelated to determining compliance with these bylaws or another municipal approval administered together with the zoning permit.

e. Administrative Decision.

1. For each application, the Administrative Officer shall identify the provisions of these bylaws applicable to the proposed development and determine whether the application complies with each applicable provision.
2. **Approval.** If the application complies with every applicable provision, the Administrative Officer shall approve the application and issue a zoning permit.
3. **Denial.** If the application does not comply with one or more applicable provisions, the Administrative Officer shall issue a written denial that identifies:
 - a. each provision with which the application does not comply; and
 - b. the fact, measurement, calculation, or other basis for that determination.
4. **No implied panel review.** A development is subject to site plan review, conditional use review, design review, or another review by an Appropriate Municipal Panel only when a specific provision of these bylaws identifies both the review and the class of application to which it applies. A purpose statement, policy, definition, general cross-reference, or customary practice does not independently create a review requirement. This paragraph does not displace a panel proceeding that a mandatory provision of State law itself requires.
5. **No discretionary conditions.** The Administrative Officer may impose only a condition necessary to state or secure compliance with an express requirement of these bylaws or another applicable municipal approval. The

officer may not impose a condition based on an unstated or discretionary standard.

f. Review by an Appropriate Municipal Panel

1. The Appropriate Municipal Panel shall hear appeals from decisions or acts of the Administrative Officer as provided by State law.
2. The Appropriate Municipal Panel shall hear and decide requests for variances as provided by [24 V.S.A. § 4469](#).
3. If these bylaws regulate subdivision of land:
 - a. the subdivision provisions shall define major subdivision and minor subdivision using objective criteria;
 - b. a major subdivision shall be reviewed by the Appropriate Municipal Panel after the public hearing required by [24 V.S.A. § 4463](#); and
 - c. a minor subdivision may be approved by the Administrative Officer only if the subdivision provisions expressly authorize administrative approval.
4. For development governed by [24 V.S.A. § 4460\(g\)](#), the Appropriate Municipal Panel shall review the municipal permit or permit amendment and address conditions of a prior permit issued under [10 V.S.A. chapter 151](#) as State law requires.

g. Appeals

1. A decision or act of the Administrative Officer may be appealed only as provided by [24 V.S.A. chapter 117](#).
2. A notice of appeal shall satisfy [24 V.S.A. § 4466](#), including identification of the regulatory provision applicable to the appeal, the relief requested, and the alleged grounds for relief.
3. Nothing in these bylaws creates an additional right of appeal or an additional standard of review beyond that provided by State law.

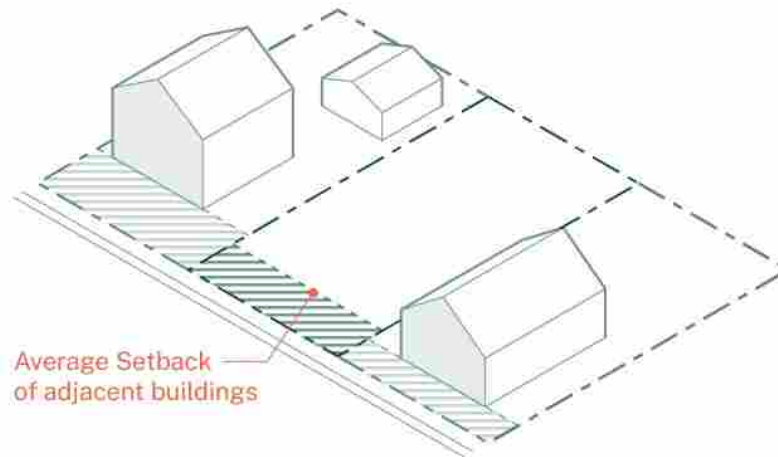
h. Enforcement

1. The Administrative Officer shall enforce these bylaws and municipal land use permits in accordance with [24 V.S.A. chapter 117](#).
2. A notice of violation, enforcement action, penalty, remedy, and appeal from an enforcement decision shall be governed by applicable State law.

3. Definitions

- A. **Awning:** A roof-like covering of canvas or other material attached to a structural frame and supported entirely from a building or other structure.
- B. **Balcony:** An unenclosed platform with a railing, wall, or balustrade that provides outdoor amenity space on upper stories.
- C. **Bay:** A window assembly extending from the main body of a building to permit increased light, provide multi-direction views, and articulate a building wall. Two bays can connect around corners.
- D. **Building Footprint Area:** Area of the largest above grade floor of the building as measured to the exterior faces of the walls, including decks that extend more than 8' from the building face.
- E. **Building Width Facing ROW:** Width is measured parallel to the street facing facade of a single building, from the exterior of each side wall or the midpoint of a party wall.
- F. **Development:** The construction or modification of any principal building type, accessory building type, or other structure; and/or the establishment, change, or expansion of any use of any structure or land.
- G. **Dormers:** A projection built out from a sloping roof, usually containing a window or vent. See section 6.e.2.
- H. **Facade Build-Out Ratio:** The ratio of the width of the entire front elevation to the lot width along the right of way.
- I. **Fenestration:** The openings in the façade of a building, including windows and doors. Fenestration is measured from the inside face of the jambs on any window or door trim.
- J. **Front Elevation:** The exterior wall of a building oriented in whole or in part toward the right of way.
- K. **Frontage Area.** The area of a lot between the minimum and maximum front setback along any front lot line(s), extending fully to each side lot line(s).
- L. **Height:** The vertical distance between the elevations of the average grade plane and the highest point of the roof, excluding the following:
 - a. cornices which do not extend more than 5 feet above the roof line,
 - b. chimneys, vents, and enclosures for machinery of elevation which does not exceed 15 feet in height above the roof line,

- c. Enclosures for tanks which do not exceed 20 feet in height above the roof line and do not exceed in aggregate area 10 percent of the roof
 - d. Solar panels which do not extend more than 1 foot above the ridgeline or in the case of a flat roof, no more than 4 feet above the parapet, unless greater extensions are allowed by special permit
 - e. Towers, spires, domes and ornamental features
- M. **Lot Line:** A division line between adjoining properties, including the division line between individual lots established by a plan filed in the registry of deeds.
- N. **Lot Line, Front:** The lot line abutting a street or right of way.
- O. **Lot Line, Side:** Any lot line other than a front or rear lot line.
- P. **Lot Line, Rear:** Any lot line which is parallel to or within forty-five (45) degrees of being parallel to a front lot line, unless that lot line is a side lot line of an abutting lot.
- Q. **Lot Line, Corner.** A lot fronting two (2) or more streets or rights of ways which form an interior angle of 120 degrees or less at their intersection.
- R. **Lot Width:** The length of the front lot line of a lot.
- S. **Porch:** An unenclosed platform connected to a principal building that provides outdoor amenity space. A porch may be screened or covered, but permanent enclosure to create habitable space is prohibited.
- T. **Primary Front Lot Line:** The lot line abutting a street or right of way. Where there are multiple lot lines abutting streets or rights of way, the primary front lot line shall be the one the principal entrance faces. Where there are multiple lot lines abutting streets or rights of way and the main entrance does not face a street or right of way, the Primary Front Lot Line shall be determined by the appropriate municipal planner or administrator.
- U. **Principal Entrance:** The main point of access for pedestrians into a building, upper story use, or ground story tenant space.
- V. **Screening:** Outdoor parking facilities containing more than 5 stalls shall be screened from abutting streets and properties. See Section 9.h.
- W. **Setback:** A line equidistant from the lot line which establishes the nearest point to the lot line at which the nearest point of a principal building may be erected. In the case of a corner lot, the rear lot line shall be the lot line opposite the street on which the main entrance is located



- X. **Setback, Average:** No building need be setback more than the average of the setbacks of the buildings on the nearest lot on either side, a vacant lot or a lot occupied by a building set back more than the required distance for its district to be counted as though occupied by a building set back such required distance. Average setbacks apply where explicitly listed in the “site dimensional standards” table in section 4.
- Y. **Step-Back:** A recess of an upper story façade a set distance behind the façade of the story below
- Z. **Story:** That portion of a building, any part of which is above the ground elevation, excluding basements, is contained between any floor and the floor or roof next above it. No portion of a building shall be erected which exceeds the allowed maximum number of stories or exceeds the allowed maximum height as indicated.
- AA. **Story, Ground:** The lowest story of a building with a finished floor at or above the finished ground level next to a building at the façade.
- BB. **Story, Half:** See Section 6.e for definition of a half-story for a pitched roof and Section 6.f for definition of a half-story for a flat roof.

4. District Form Standards

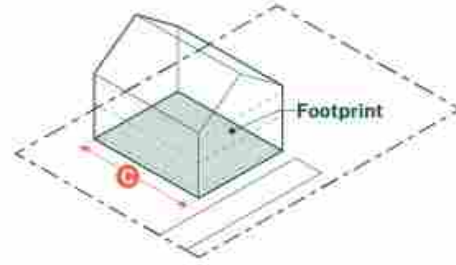
Site Dimensional Standards					
	VT1	VT2	VT3	VT4	VT5
Building Setbacks					
Front (min-max)	10'-30' or average	10'-30' or average	5'-20' or average	5'-15' or average	5'-15' or average
Side / Rear (min)	10'	10'	10' or average	5' or average	5' or average
Building Separation (min)	15'	15'	15'	15'	15'

Facade Build Out Ratio (min)					
Primary Front Lot Line	N/A	N/A	50% or parcel width minus 15'	60% or parcel width minus 15'	70% or parcel width minus 15'
Front Lot Line	N/A	N/A	30% or parcel width minus 15'	40% or parcel width minus 15'	50% or parcel width minus 15'
Parking Setbacks (min)					
Facing a right of way	10'				
Not facing a right of way	5'				
Height and Mass Standards					
	VT1	VT2	VT3	VT4	VT5
Building Footprint (max)					
Primary Structure	1,400	2,800	4,000	12,000	20,000
Additional Structure(s)	800	1,400	2,800	4,000	12,000
Building Height in stories/feet (max)					
Primary Structure	2.5 / 35'	2.5 / 35'	3.5 / 54'	4.5 / 64'	5.5 / 75'
Additional Structure(s)	1.5 / 24'	2.5 / 35'	2.5 / 35'	3.5 / 54'	4.5 / 64'
Building Width Facing ROW (max)	40 ft	60 ft	80 ft	N/A	N/A
Facade Length (max)	N/A	N/A	40 ft	100'	100'
Facade Articulation (min)	N/A	N/A	Indent of 7'x10' min or jog of 7' min		
0.5 Story Standards					
Pitched Roof Height (max)	18'				
Flat Roof Height (max)	Not Allowed / 12'		12'		
Flat Roof Stepback (min)	Not Allowed / 7' on all building faces		7' on all building faces		
Activation and Mixed Use					
	VT1	VT2	VT3	VT4	VT5
Ground Story Height (min)	N/A	N/A	14' for active ground floor uses		

Vermont Transect 1 (VT1)

Rural Neighborhood

This district aligns with the scale of historic single family neighborhood development, and allows for the development of 1-3 family homes.



Site Dimensional Standards

Building Setbacks	
A. Front (min-max)	10'-30' or average
B. Side / Rear (min)	10'
Building Separation (min)	15'
Facade Build Out Ratio (min)	
Primary Front Lot Line	N/A
Front Lot Line	N/A
Parking Setbacks (min)	
Facing a right of way	10'
Not facing a right of way	5'

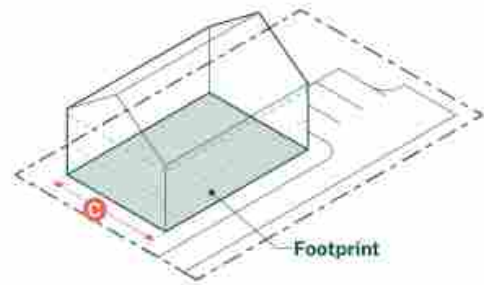
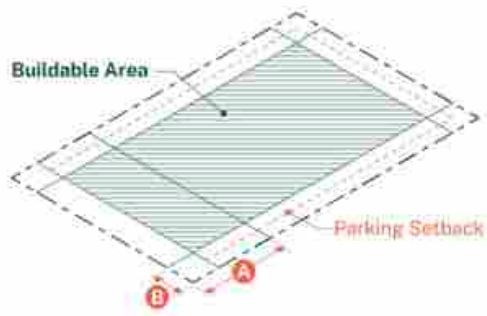
Height and Mass Standards

Building Footprint (max)	
Primary Structure	1,400 sf
Additional Structure(s)	800 sf
Building Height in stories/feet (max)	
Primary Structure	2.5 / 35'
Additional Structure(s)	1.5 / 24'
C. Building Width Facing ROW (max)	40 ft
Facade Length (max)	N/A
Facade Articulation (min)	N/A
0.5 Story Standards	
Pitched Roof Height (max)	18'
Flat Roof Height	12'
Flat Roof Stepback	7' on all sides of building

Vermont Transect 2 (VT2)

Village Neighborhood

This district aligns with the scale of historic small multifamily homes, and allows for the development of 3-6 unit buildings. The scale of this transect allows for the construction of all 802 homes models.



Site Dimensional Standards

Building Setbacks	
A. Front (min-max)	10'-30' or average
B. Side / Rear (min)	10'
Building Separation (min)	
	15'
Facade Build Out Ratio (min)	
Primary Front Lot Line	N/A
Front Lot Line	N/A
Parking Setbacks (min)	
Facing a right of way	10'
Not facing a right of way	5'

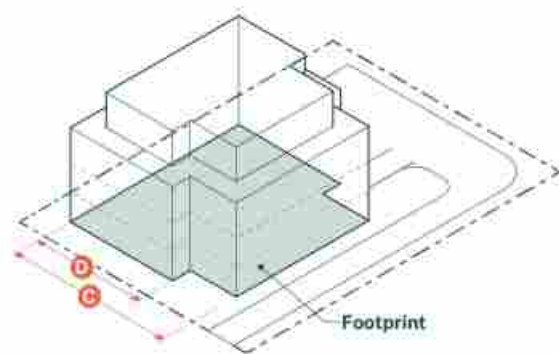
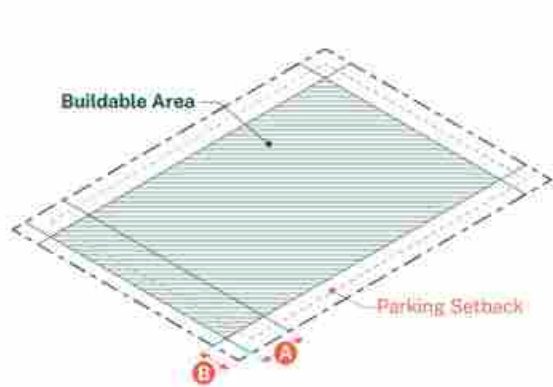
Height and Mass Standards

Building Footprint (max)	
Primary Structure	2,800 sf
Additional Structure(s)	1,400 sf
Building Height in stories/feet (max)	
Primary Structure	2.5 / 35'
Additional Structure(s)	2.5 / 35'
C. Building Width Facing ROW (max)	60 ft
Facade Length (max)	N/A
Facade Articulation (min)	N/A
0.5 Story Standards	
Pitched Roof Height (max)	18'
Flat Roof Height	12'
Flat Roof Stepback	7' on all sides of building

Vermont Transect 3 (VT3)

Village Center

This district aligns with historic village center development and is appropriate for small multifamily homes and mixed use buildings, generally up to 16 units per building.



Site Dimensional Standards

Building Setbacks	
A. Front (min-max)	5'-20' or average
B. Side / Rear (min)	10' or average
Building Separation (min)	20'
Facade Build Out Ratio (min)	
Primary Front Lot Line	50% or lot width minus 15'
Front Lot Line	30% or lot width minus 15'
Parking Setbacks (min)	
Facing a right of way	10'
Not facing a right of way	5'

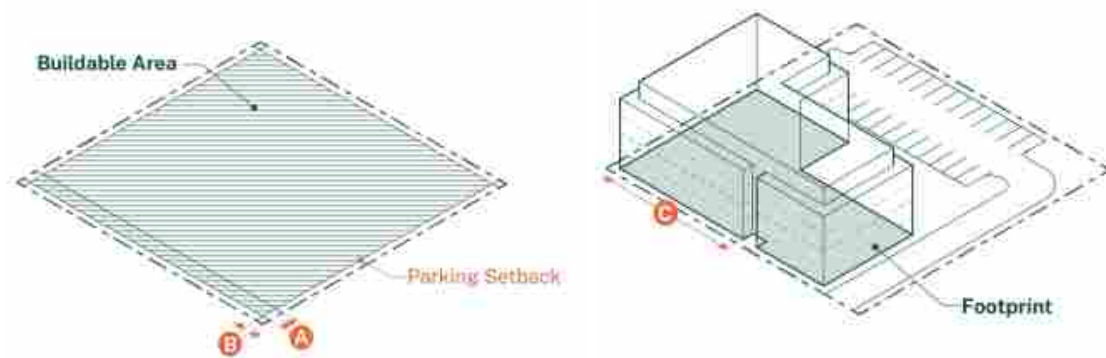
Height and Mass Standards

Building Footprint (max)	
Primary Structure	4,000 sf
Additional Structure(s)	2,800 sf
Building Height in stories/feet (max)	
Primary Structure	3.5 / 54'
Additional Structure(s)	2.5 / 35'
C. Building Width Facing ROW (max)	80 ft
D. Facade Length (max)	40 ft
Facade Articulation (min)	Indent of 7'x10' min or jog of 7' min
0.5 Story Standards	
Pitched Roof Height (max)	18'
Flat Roof Height	12'
Flat Roof Stepback	7' on all sides of building

Vermont Transect 4 (VT4)

Urban Mid-Rise

This district is aligned with denser downtowns, and supports mid-scale multifamily and mixed-use projects.



Site Dimensional Standards

Building Setbacks	
A. Front (min-max)	5'-15' or average
B. Side / Rear (min)	5' or average
Building Separation (min)	20'
Facade Build Out Ratio (min)	
Primary Front Lot Line	60% or lot width minus 15'
Front Lot Line	40% or lot width minus 15'
Parking Setbacks (min)	
Facing a right of way	10'
Not facing a right of way	5'

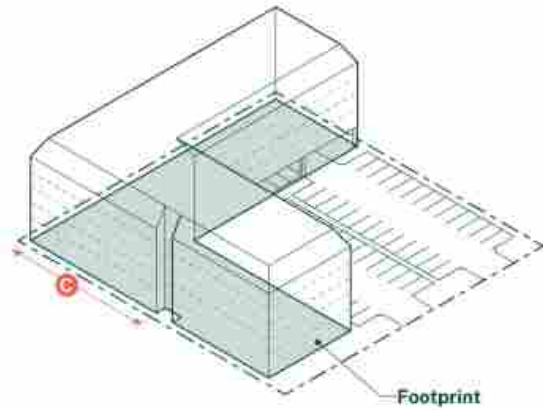
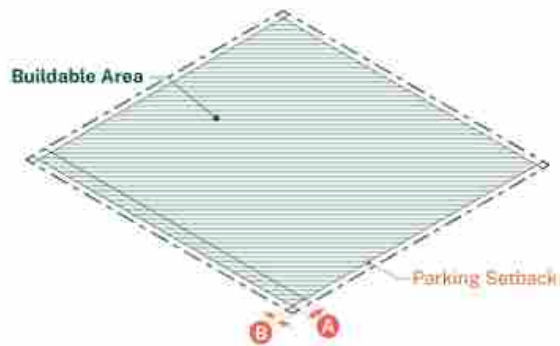
Height and Mass Standards

Building Footprint (max)	
Primary Structure	12,000 sf
Additional Structure(s)	4,000 sf
Building Height in stories/feet (max)	
Primary Structure	4.5 / 64'
Additional Structure(s)	3.5 / 54'
Building Width Facing ROW (max)	N/A
C. Facade Length (max)	100'
Facade Articulation (min)	Indent of 7'x10' min or jog of 7' min
0.5 Story Standards	
Pitched Roof Height (max)	18'
Flat Roof Height	12'
Flat Roof Stepback	7' on all sides of building

Vermont Transect 5 (VT5)

Urban Downtown

This district supports urban downtown development and is appropriate for large-scale multifamily projects



Site Dimensional Standards

Building Setbacks	
A. Front (min-max)	5'-15' or average
B. Side / Rear (min)	5' or average
C. Building Separation (min)	25'
Facade Build Out Ratio (min)	
Primary Front Lot Line	70% or lot width minus 15'
Front Lot Line	50% or lot width minus 15'
Parking Setbacks (min)	
Facing a right of way	10'
Not facing a right of way	5'

Height and Mass Standards

Building Footprint (max)	
Primary Structure	20,000
Additional Structure(s)	12,000
Building Height in stories/feet (max)	
Primary Structure	5.5 / 76'
Additional Structure(s)	4.5 / 64'
Building Width Facing ROW (max)	N/A
C. Facade Length (max)	100'
Facade Articulation (min)	Indent of 7'x10' min or jog of 7' min
0.5 Story Standards	
Pitched Roof Height (max)	18'
Flat Roof Height	12'
Flat Roof Stepback	7' on all sides of building

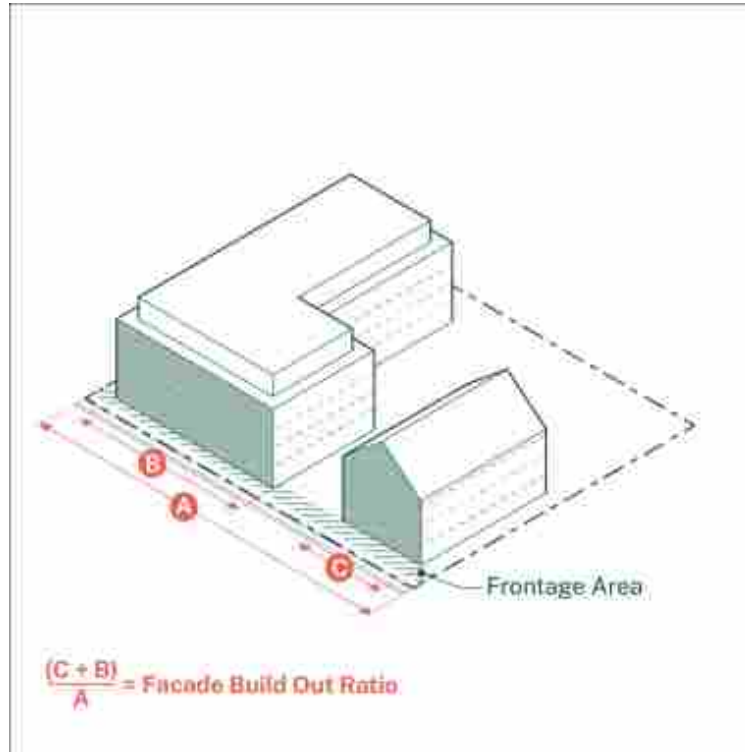
5. Site Design Standards

This section provides the design standards for lot improvements within a VT Transect zone, defines how to measure certain standards, and provides other requirements and information.

a. Setbacks

Buildings must meet the minimum setbacks specified in the site dimensional standards for each VT Transect Zone

b. Facade Build Out Ratio



The width of the front elevation must be a percentage of the lot width as specified by the facade build out ratio in the Site Dimensional Standards for each transect

The facade build out ratio may be met cumulatively by multiple buildings on a lot.

Usable open space (see 5.e) between the front lot line and front elevation is considered part of the building for the purposes of calculating the facade build out ratio.

c. Number of Buildings

Multiple buildings are permitted on each lot by-right.

d. Building Separation

Multiple buildings on a single lot must comply with the building separation distance at all points as specified in the Building Dimensional Standards for each VT Transect Zone.

Abutting buildings on separate lots may not be interconnected so as to be internally accessible from one to the other at or above grade level.

e. Usable Open Space

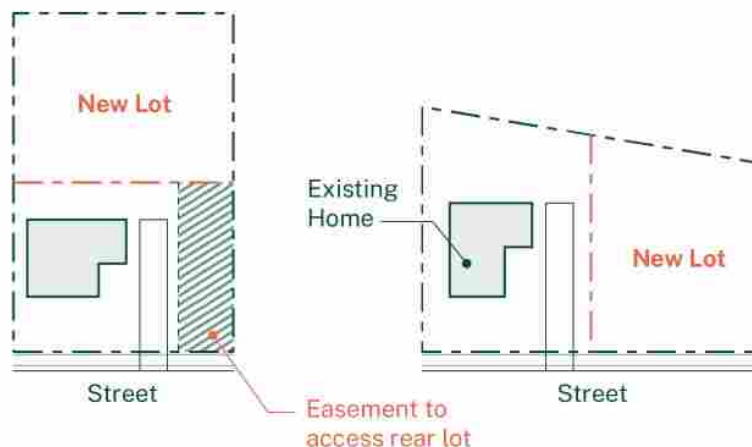
Lots must provide the minimum usable open space specified in the Site Dimensional Standards for each VT Transect Zone.

Usable Open Space is defined as exterior space open to the sky (shading devices, structures, and plantings allowed), which is designed and maintained for the use of residential tenants. It is designed to be programmed by active or semi-active uses and not as an inaccessible landscape area.

1. Examples include: balconies, terraces, stoops, dooryards, porches, courtyards, dog-runs, plazas, gardens, roof decks, courts and pools

f. Simple Subdivisions:

- i. **Purpose:** To streamline the division of mid to large, underutilized lots to create new development opportunities and support the creation of new ownership opportunities in historic neighborhoods
- ii. **Eligibility:** Projects seeking the subdivision of up to 2 acres of land, into up to 2 separate lots
- iii. **Standards:** Lots of less than 2 acres may be subdivided either so that both lots have frontage, or where one lot is accessed through the lot which is accessed by a public way. Refer to Title 24, Ch 117, 4412.3 for enabling legislation and requirements for lots without street frontage.



- [Title 24-Chapter 117 - 4412.3](#) “Required frontage on, or access to, public roads, class 4 town highways, or public waters. Land development may be permitted on lots that do not have frontage either on a public road, class 4 town highway, or public waters, provided that access through a permanent easement or right-of-way has been approved in accordance with standards and process specified in the bylaws. This approval shall be pursuant to subdivision bylaws adopted in accordance with section 4418 of this title, or where subdivision bylaws have not been adopted or do not apply, through a process and pursuant to standards defined in bylaws adopted for the purpose of assuring safe and adequate access. Any permanent easement or right-of-way providing access to such a road or waters shall be at least 20 feet in width.

6. Building Design Standards

This section provides the design standards for buildings within the VT Transect Zones, defines how to measure certain standards, and provides other requirements and information.

a. Building Footprint

1. Buildings must comply with the maximum building footprint as specified in the Building Dimensional Standards for each VT Transect Zone.
2. Includes all enclosed spaces whether for habitation or storage. Any parking area that is covered by a roof is included in the Building Footprint
3. The following features do not count towards the building footprint:
 - a. Portions of the building below the average grade and not visible from any right of way or adjacent lots
 - b. Building components as described in Section 7

b. Building Height

1. Buildings may not exceed the maximum building height specified in the Building Dimensional Standards for each VT Transect Zone. Building height is measured as defined in Section 3.0.

c. Story Height

1. The Ground Story of a building must comply with the minimum story height requirements specified in the Building Dimensional Standards

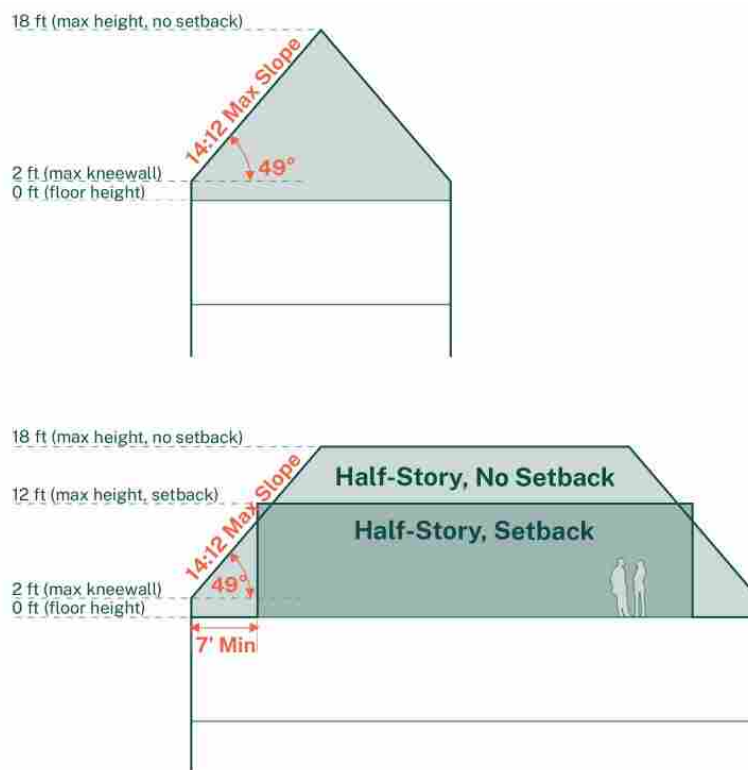
for each VT Transect Zone if the Ground Floor Use is considered an Active Use (see section 8).

2. The height of the ground story and upper story(ies) of a building is measured vertically from the surface of the finished floor to the surface of the finished floor above, or to the top of the highest roof beam if no finished floor is immediately above, at all points.
3. The height of a half-story is measured vertically from the surface of the finished floor to the top of the highest roof beam above.

d. Number of Stories

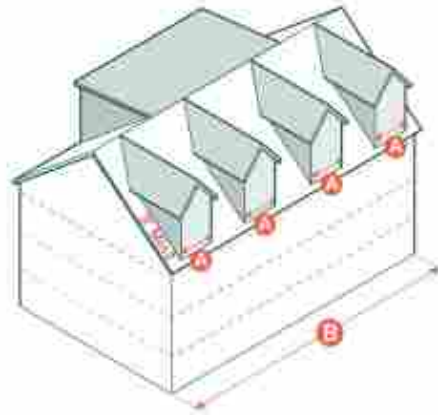
1. Buildings may not exceed the maximum number of stories as specified in the Building Dimensional Standards for each VT Transect Zone.

e. Half-Story for Pitched Roofs



1. Space located directly under a pitched roof is counted as a half (0.5)-story, provided the following standards are all met:
 - a. At least two (2) opposite roof planes are pitched toward each other

- b. A pitched roof may be composed of roof planes with different slopes.
- c. The slope of any pitch must be no greater than 14:12 (49.4 degrees); otherwise, this story is counted as a full story.
- d. The roof rafters must intersect the wall plate or top of the wall frame of the exterior walls at a height no more than two (2) feet above the finished floor of the half (0.5)-story; otherwise, this story is counted as a full story.



$$\frac{(A+A+A+A)}{B} \leq 50\%$$

- 2. Dormers must comply with the following requirement:
 - a. Dormer windows may not occupy more than 50% of the total pitched roof area and must be setback from the ends of a pitched roof, where applicable, by a minimum of three (3) feet. Where more than one dormer is located on the same side of the roof, the width of all dormers combined may not exceed 50 percent of the length of the exterior wall below.

f. Half-Story Step Back for Flat Roofs

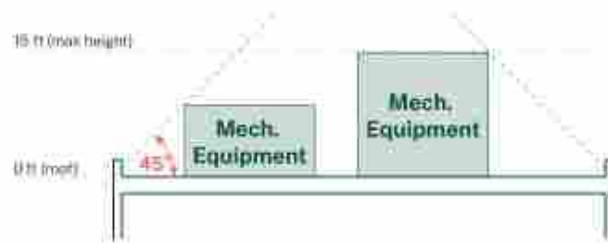
For buildings in Transects 3, 4 and 5, the required step-backs must be provided at the uppermost story.

Exceptions

- 1. Sections of buildings that are on a portion of a lot where the lot depth is less than seventy (70) feet are exempt from the upper story step-back requirement along the rear lot line, except when the rear lot line abuts a residential district.
- 2. Any portion of the half-story set back more than twenty-five (25) feet from any lot line is exempt from the upper story step-back requirement.

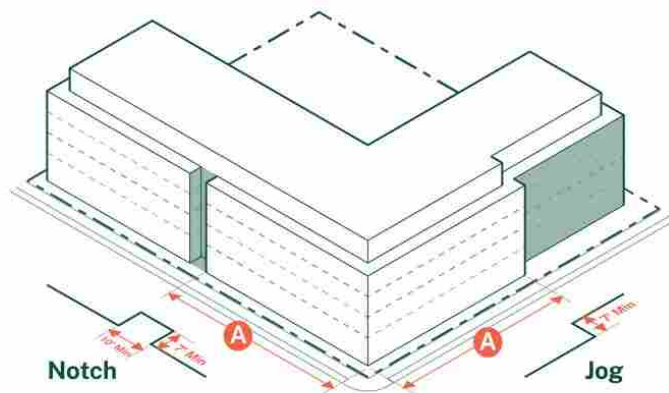
g. Mechanical Equipment

- i. Roof-mounted mechanical equipment shall be screened and shall follow a height maximum set by a 45 degree angle from the intersection of the roof and wall plane immediately below. The maximum height of the mechanical equipment shall not exceed fifteen (15) feet.



- ii. Wall-mounted alarm devices, cable boxes, and utility meters shall not be mounted on a facade facing a right of way.
- iii. Wall-mounted mechanical, plumbing, and/or electrical equipment such as louvers, exhaust equipment and duct vents along the front elevation must be architecturally integrated into the design of the building and located to minimize adverse effects on pedestrian comfort along sidewalks and within open spaces.
- iv. All free-standing mechanical and/or electrical equipment are prohibited between any front lot line and front elevation.

h. Facade Articulation



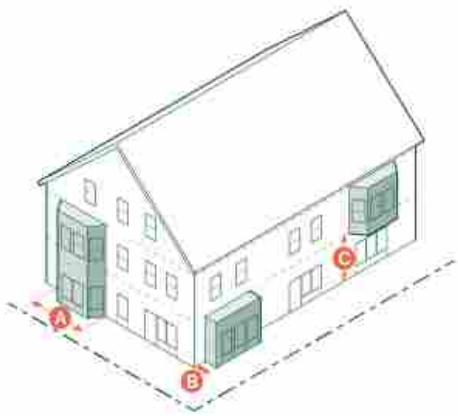
1. The front elevation of any building greater than one hundred (100) feet in width must be divided vertically by a recess or an offset of at least seven (7) feet deep and ten (10) feet wide for the full height of the building, excluding
 - a. The half-story
 - b. Any portion of the ground floor with an active ground story use as defined in section 8.b
2. Balconies and awnings may be located within the recess or adjacent to the offset
3. Balconies and bays may be utilized to satisfy the facade articulation requirements in this section

7. Building Components, Frontage Area

a. Building Components

1. The structural and architectural elements that extend outward from a building façade, including awnings, bays, balconies, and porches.
2. Building components which fully comply with the dimensional standards below are not considered part of the building footprint.
3. Building Components may project into the front setback and/or right of way only based on the following standards:

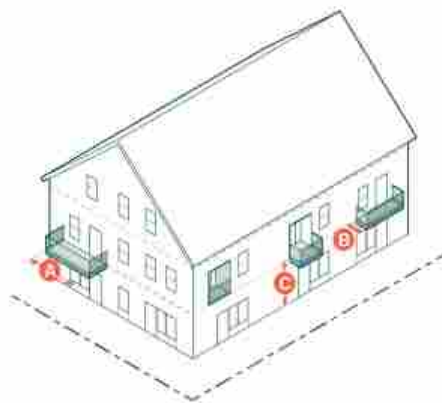
I. Bay



Dimensions

A. Width of each bay (max)	12 ft
B. Depth (max)	3 ft
Front Setback encroachment at the ground story (max)	3 ft

II. Balcony

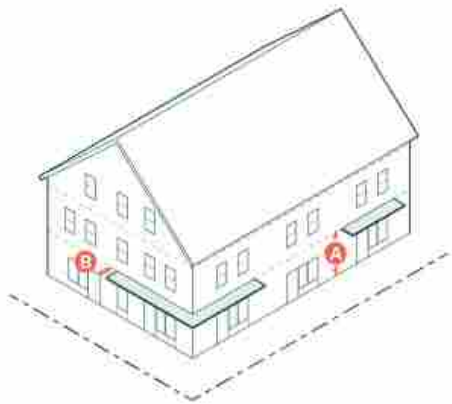


Dimensions

A. Width of each balcony (min/max)	5 ft / 12 ft
B. Depth (min/max)	3 ft / 8 ft
Front Setback encroachment (max)	100%

Extension into the right of way	3 ft
C. Clearance above grade within right of way	Top of ground story

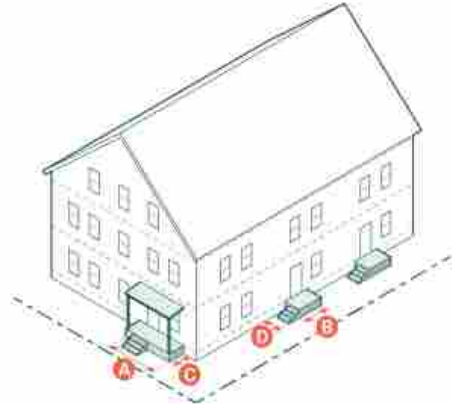
III. Awning



Dimensions	
A. Clearance above grade (min)	10 ft
Depth (max)	3 ft
Extension in the right of way, principal entrance (max)	6 ft
Extension into the right of way, other (max)	3 ft
Front setback encroachment (max)	100%

Extension into the right of way	3 ft
C. Clearance above grade	Top of ground story

IV. Porch



Dimensions	
A. Width, front (min)	8 ft
B. Width, side (min)	4 ft
C. Depth front (max)	8 ft
D. Depth, side (min)	4 ft
Front setback encroachment (max)	6 ft

8. Allowed Uses

a. Permitted Uses

Uses permitted in VT Transect Zones districts are described below

1. Residential

b. Ground floor uses

i. In addition to residential uses, the following uses are allowed on the ground floor:

1. Lobbies and Common Areas associated with Residential Uses
2. Work/Live Creative Studios

3. Retail
4. Restaurant / bar / craft beverage establishment / specialty food service
5. Place of amusement
6. Personal service
7. Gallery / arts studio
8. Live / work space
9. Community use space
10. Professional Office

9. Parking Design Standards

a. Required Number of Parking Spaces

1. Parking ratios can be found in __ section (reference to another part of a municipalities bylaws)

b. Dimensional Requirements for Parking Spaces

1. Where multiple parking spaces area shared by a single unit, tandem parking is allowed

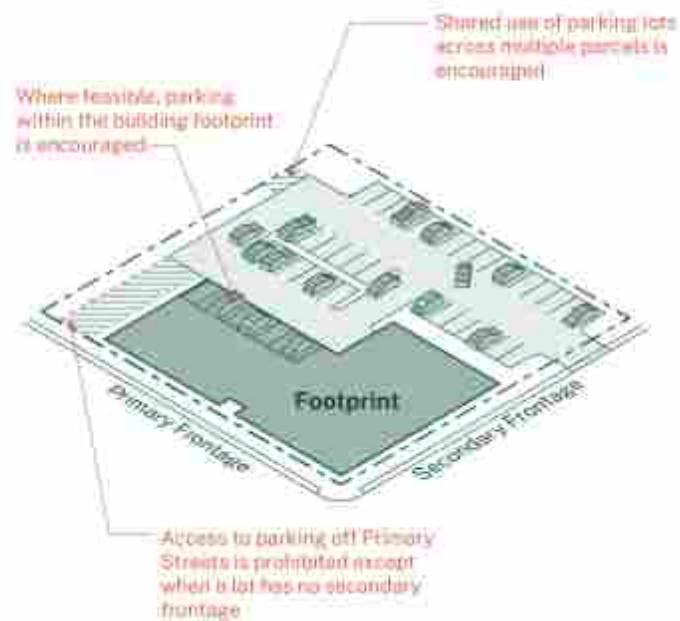
Type	Angle of Parking	Minimum Aisle Width
One Way Parking Lot	Parallel	12 feet
	30 Degrees	11 feet
	45 Degrees	13 feet
	60 Degrees	18 feet
	90 Degrees	20 feet
Two Way Driveway	Parallel and/or none	20 feet
Two Way Parking Lot	30 to 60 Degrees	22 feet
	90 Degrees	24 feet

c. Parking Access

1. Vehicular access to parking lots and structures along the primary front lot line is prohibited when vehicular access along another lot line is available.
2. Shared use of vehicular parking lots, by multiple uses and/or developments on multiple parcels, is permitted.

3. If the entrance to a parking area is along the primary front lot line, the width of the entrance may be no more than 40% of the front elevation along the primary front lot line.

d. Curb Cuts, Driveways



1. Curb cuts are prohibited along the primary front lot line when vehicular access along another lot line is available. A curb cut along a primary front lot line is permitted if a one-way vehicular access along the primary front lot line and a one-way vehicular access along the secondary front lot line is provided.
2. The maximum width of a driveway for vehicular access to parking lots and structures is as follows
One-Way Access: 10 ft - 12 ft
Two-Way Access: 20 ft - 24 ft
3. The interior width of a curb cut (between curb stones) may be no wider than the driveway, vehicular entrance, or loading facility it serves.
4. The grade, cross slope, and clear width of the walkway of a sidewalk must be maintained between the driveway apron and the abutting driveway.
5. Curb cuts for driveways must be at least twenty (20) feet from an intersection that does not have a traffic-control signal and at least

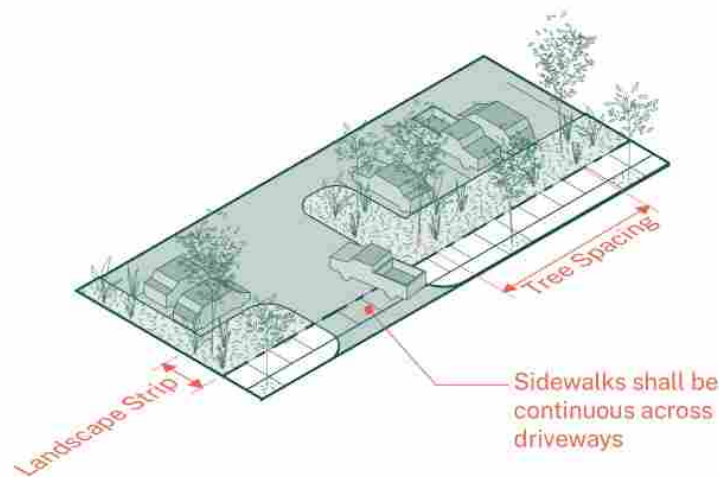
forty (40) feet from an intersection with traffic-control signals. The distance between the curb cut and the intersection shall be measured from the point of intersection of the tangent lines of the curve. The distance between the curb cut and the intersection shall be measured from the point of the intersection of the tangent lines of the curve.

6. Each lot is limited to one curb cut per street frontage. Lots with more than 200 feet of frontage are allowed one additional curb cut every 200 feet.

e. Parking Location

1. All vehicular parking stalls must be located at or behind any required parking setback as specified in the Lot Standards for each VT Transect Zone.
2. No vehicular parking stalls are allowed between the front elevation and the primary front lot line.

f. Screening



Surface parking lots must be separated from the right of way by a building or screening within the parking setback as specified in the site development standards for each VT Transect Zone. Screening shall consist of one or a combination of the following:

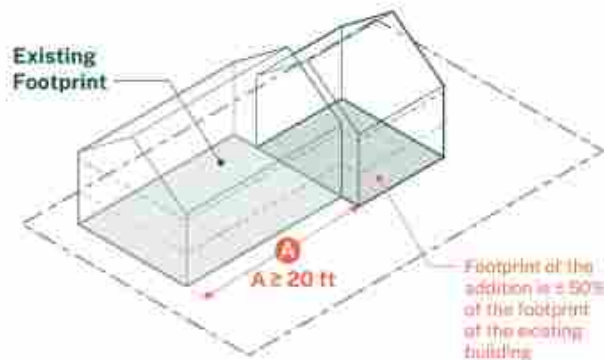
1. A landscape strip at least five (5) feet in width, running the full length of the parking lot along the right-of-way, excluding curb cuts and driveways (see above image).
 - a. The landscape strip must be planted with trees, shrubs, perennials, native grasses, and/or other planting types that provide a buffer from the right-of-way.

- b. Deciduous shade trees must be planted for every 35 feet of landscape strip length, spaced linearly and parallel to the public right-of-way. Shade trees must be a minimum of two (2) inches in tree caliper
 2. A wall, barrier, or fence of uniform appearance. Such a wall, barrier, or fence may be opaque or perforated provided that not more than fifty (50) percent of the face is open. There shall be a landscaped strip with a minimum width of 3 feet between the base of the wall, barrier, or fence and right of way.

The required screening shall be located so as not to conflict with any corner visibility requirements. Such screening may be interrupted by entrances or exits.

10. Adaptive Reuse + Additions

- a. **Purpose:** To benefit the general health and welfare of VT communities by supporting historic preservation through the reuse and revitalization of existing buildings, including historically significant buildings
- b. **Eligibility:** Adaptive reuse development is permitted in VT Transect Zones
 - i. Lots with buildings that exist at the time the lot opts-into a VT Transect Zone are eligible for the provisions of this Adaptive Reuse Section
 - ii. Any proposed development under the provisions of this Adaptive Reuse section must submit a pre-development site survey with existing conditions prepared, stamped, and signed by an engineer or or land surveyor, with the building permit application.
- c. **Standards** Notwithstanding anything to the contrary in the Local Zoning Ordinance, development on a lot that qualifies as an adaptive reuse development may utilize the following building standards:



- i. The maximum building footprint of the existing building(s) shall be the footprint of the existing building(s) at the time the lot opts-in to the VT

Transect Zone plus fifty (50%) percent of the footprint of the existing building(s).

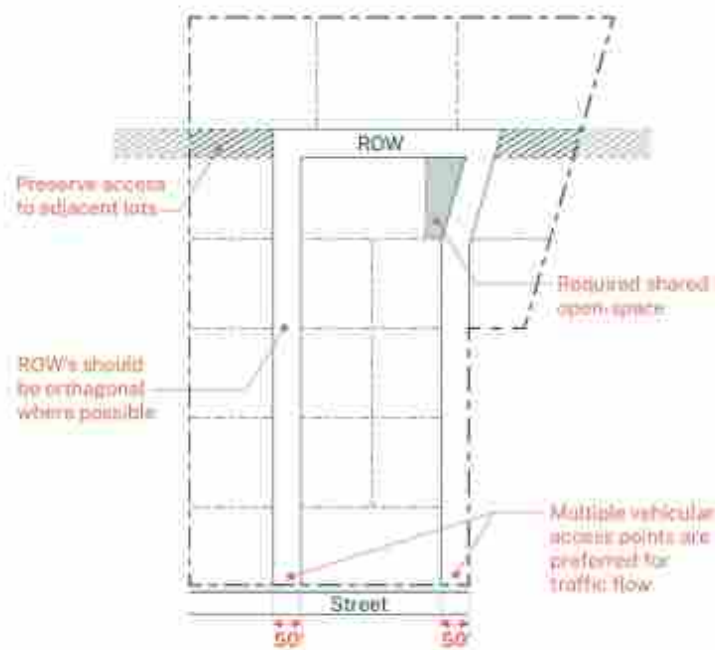
1. All additions to the existing building(s) must meet the minimum setbacks.
 2. Additions are only permitted along the rear and side elevations of the existing building(s).
 3. Any portion of the addition along the side elevations of the existing building(s) must be set back at least twenty (20) feet from the front elevation of the existing building.
- ii. Additions permitted herein may be built up to the maximum height allowed under the VT Transect Zone. The height of those portions of the existing building(s) that are preserved may not be increased.
 - iii. No exterior alterations of the existing building(s) along the front or the side elevations up to an addition are permitted , except:
 1. Those necessary to comply with applicable Health, Building, and Fire codes.
 2. Building Components, as defined in Section 7
 3. The replacement of windows, doors, and sheathing are not considered exterior alterations.

11. Large Lot Principles

a. Applicability

This section governs subdivision or neighborhood-scale development that occurs on a parcel or assemblage parcels under common ownership at least 300' wide and 300' deep OR is at least 2 acres in total area.

b. Network Geometry



1. **ROW width 50'**
 2. **Intersection spacing** No access right of way shall extend longer than 600' without intersecting another access ROW
 3. **Connection to existing ROW** Where a parcel adjoins another, including parcels directly across a public right-of-way, easements or other access points should be provided where appropriate so that road network connections may be made in the future.
 4. **Straightness and Alignment** Access Rights-of-Way shall be drawn as straight lines except
 - a. where necessary to avoid existing buildings
 - b. To avoid mapped physical constraints (topography, wetlands, river corridor)
 - c. To connect to existing Rights-of-Way or streets on adjacent parcels
- c. Shared driveways and parking
- i. **Shared Driveways** Up to four structures may be accessed via a single shared driveway (min. 12' wide)

d. Shared open space

Lots over 2 acres must create a shared open space of at least 3,000 SF, which is 30' wide at minimum for use by all residents.

- i. Examples include; parks, trails, play structures, picnic areas, community gardens, pools, courtyards, dog-runs, and sports courts

Appendix A: Optional Additional Language:

a. **Required Number** of Bike Parking Spaces

- i. **Bicycle Parking, Long-Term:** Accommodations for the parking of a bicycle for two (2) or more hours.
- ii. **Bicycle Parking, Short-Term:** Accommodations for the parking of a bicycle for less than two (2) hours.
- iii. **Dimensional Requirements** for Bicycle Parking Spaces

Type	Bicycle Parking (Except for Racks)	Rack Spacing	Distance to Wall	Access Path
Standard Space	6' x 2' x 3.3' high	4' preferred 3' allowed	2.5' to side of rack	5' clear path
Cargo Space	10' x 3' and 3.3' high	4' Minimum	3' to side of rack	5' clear path