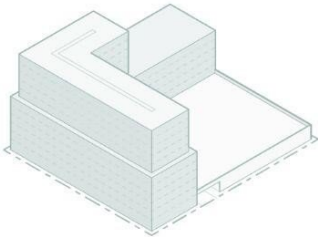
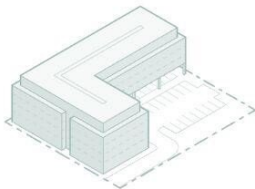
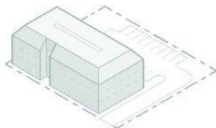
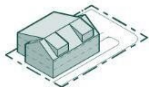


ROOT Zones / Chester Update



Working Transect



Transect 0.5

1,400 SF Maximum Footprint
2.5 Stories Maximum



Barre



Bristol

Transect 1

2,400 SF Maximum Footprint
2.5 Stories Maximum



Randolph



Rutland

Transect 2

3,600 SF Maximum Footprint
2.5 Stories Maximum



Fairlee



Montpelier

Transect 3

8,000 SF Maximum Footprint
3.5 Stories Maximum



Montpelier



Williston

Transect 4

16,000 SF Maximum Footprint
4.5 Stories Maximum



White River Junction



South Burlington

Transect 5

25,000 SF Maximum Footprint
11 Stories Maximum



Burlington



Burlington

Other Rules / Regulations in these TestFits

Setbacks: Parking setback min 5' on all sides
Building is setback min 10' on all sides
Recommend that setbacks are defined by context - as explained by the Enabling Better Places Guide

Primary / Secondary Structures

Only one primary structure is allowed on lots smaller than 2 acres
Multiple secondary structures are allowed per lot and their footprint and height is defined by the next smallest transect
Example: if a property is zoned as T2, you are allowed one primary structure at the scale of T2, and additional smaller structures at the scale of T1

Building Separation

Buildings must be separated by at least 12' consider whether to have separation correlate to building size

Location of Parking:

Parking must be located at the side or rear of the site

Roof form: Roofs must be pitched

Additional regulations for lots greater than 2 acres:

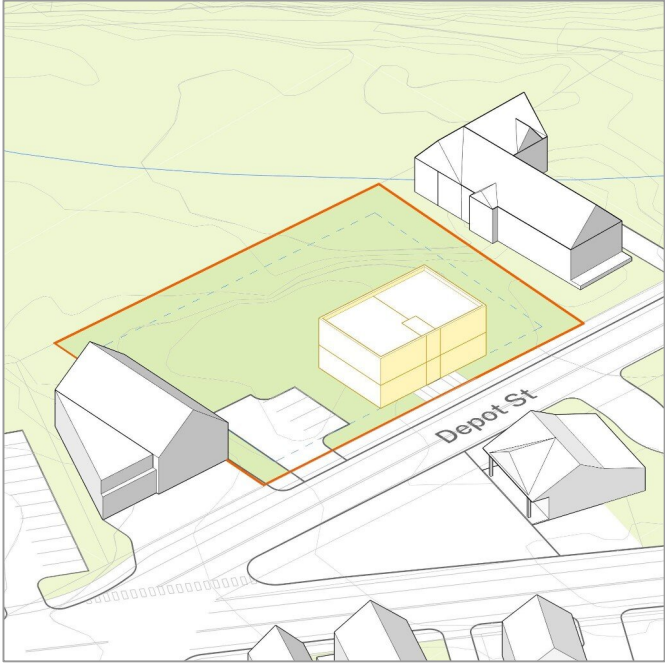
Multiple buildings of the largest footprint / height are allowed for sites larger than two acres

Depot St

Village Center Zoning - Permitted Uses

Site 1: Depot St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	24,891			
GSF Building	4,800	16,200	16,836	12,000
Retail GSF	0	0	0	0
Number of Units	4	12	16	10
Number of Parking Spaces	4	12	16	10
FAR	0.193	0.65	0.68	0.48
DU/Acre	7.0	21.0	28.0	17.5

→ Limited by allowed uses (4 family dwelling)

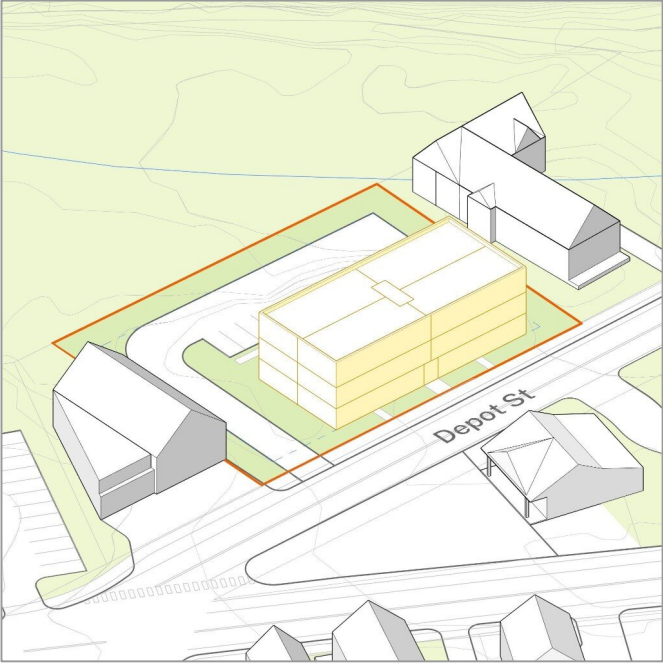
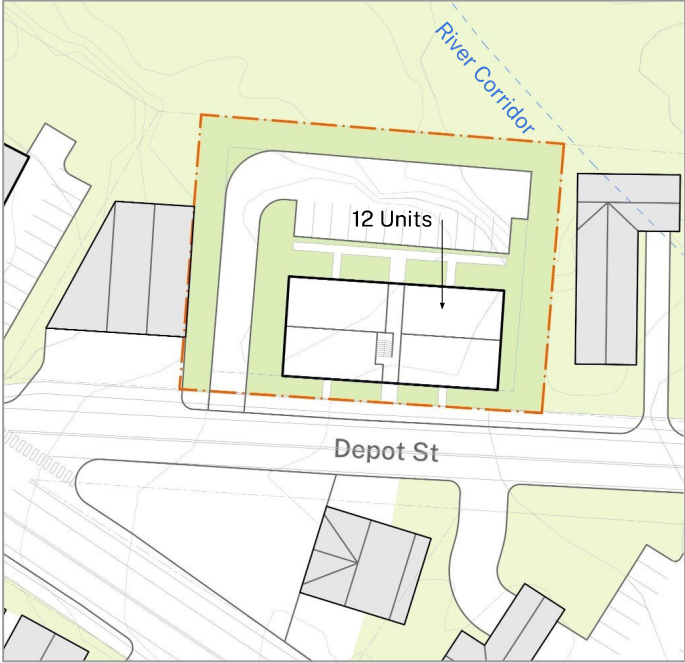


Depot St

Village Center Zoning-Conditional Uses

Site 1: Depot St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		24,891		
GSF Building	4,800	16,200	16,836	12,000
Retail GSF	0	0	0	0
Number of Units	4	12	16	10
Number of Parking Spaces	4	12	16	10
FAR	0.193	0.65	0.68	0.48
DU/Acre	7.0	21.0	28.0	17.5

- Limited by one primary building per lot, in combination with height and building code
- Land use (multifamily 5+ units) requires conditional use review by the Development Review Board and a zoning permit issued by the Zoning Administrator

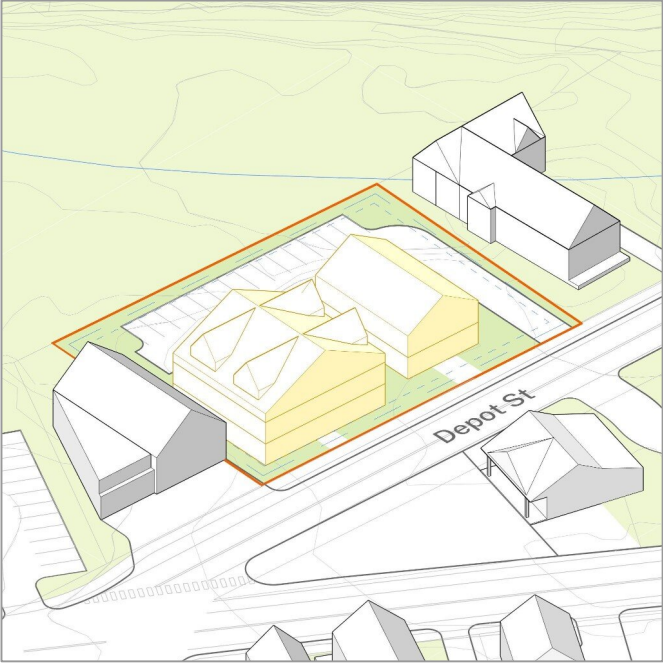


Depot St

ROOT Zones: Transect 2

Site 1: Depot St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	24,891			
GSF Building	4,800	16,200	16,800	12,000
Retail GSF	0	0	0	0
Number of Units	4	12	14	10
Number of Parking Spaces	4	12	16	10
FAR	0.193	0.65	0.68	0.48
DU/Acre	7.0	21.0	24.5	17.5

- Limited by footprint sizes and parking
- Calibrate minimum building separation distance
- Calibrate front setbacks to align with context
- Calibrate usable open space

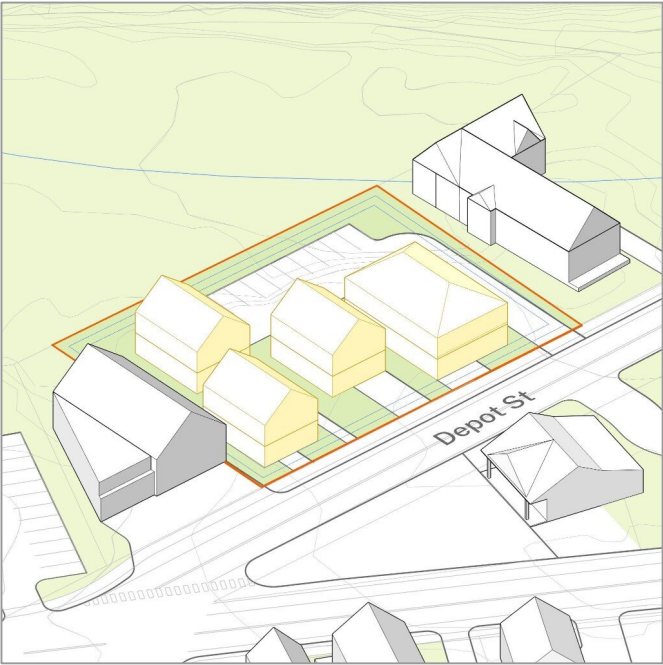


Depot St

ROOT Zones: Transect 1

Site 1: Depot St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	24,891			
GSF Building	4,800	16,200	16,836	12,000
Retail GSF	0	0	0	0
Number of Units	4	12	16	10
Number of Parking Spaces	4	12	16	10
FAR	0.193	0.65	0.68	0.48
DU/Acre	7.0	21.0	28.0	17.5

- Limited by footprint sizes and parking
- Calibrate building separation / usable open-space
- Hose length / fire considerations for back building

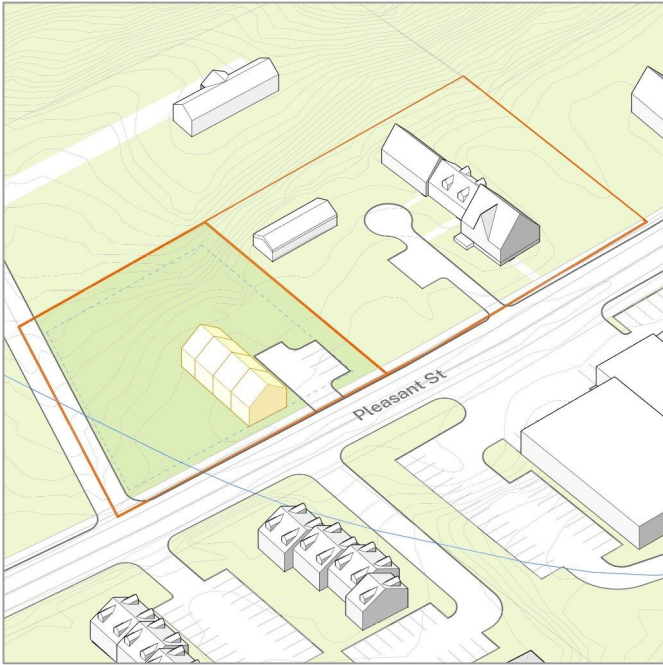


Pleasant St (Subdivided Lot)

Village Center Zoning - Permitted Uses

Site 2: Pleasant St				
Zoning Type	Existing Zoning (Village Mixed Use)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		32,968		
GSF Building	4,200	28,800	16,236	14,400
Retail GSF	0	2,100	0	0
Number of Units	4	21	16	12
Number of Parking Spaces	4	28	16	12
FAR	0.127	0.87	0.49	0.44
DU/Acre	5.3	27.7	21.1	15.9

→ Limited by allowed uses (4 family dwelling)

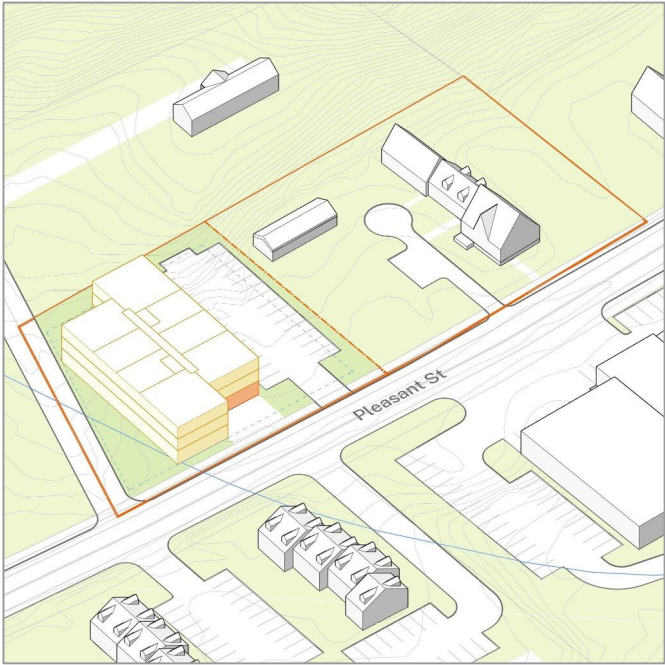
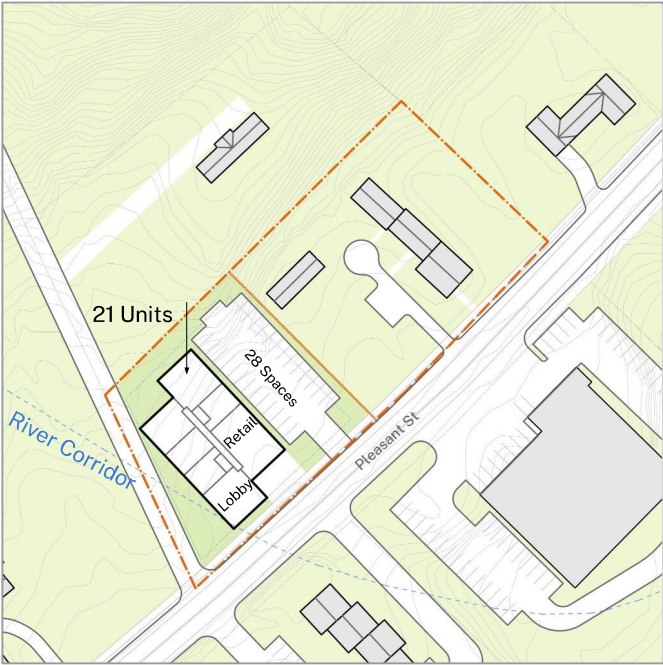


Pleasant St (Subdivided Lot)

Village Mixed Use-Conditional Uses

Site 2: Pleasant St				
Zoning Type	Existing Zoning (Village Mixed Use)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		32,968		
GSF Building	4,200	28,800	16,236	14,400
Retail GSF	0	2,100	0	0
Number of Units	4	21	16	12
Number of Parking Spaces	4	28	16	12
FAR	0.127	0.87	0.49	0.44
DU/Acre	5.3	27.7	21.1	15.9

→ Limited by parking spaces required for retail space (1 per 350 sf of retail)

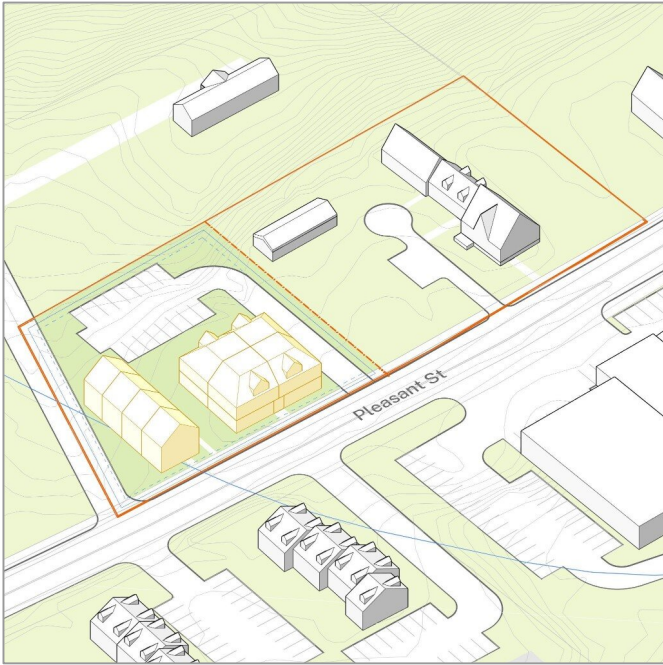
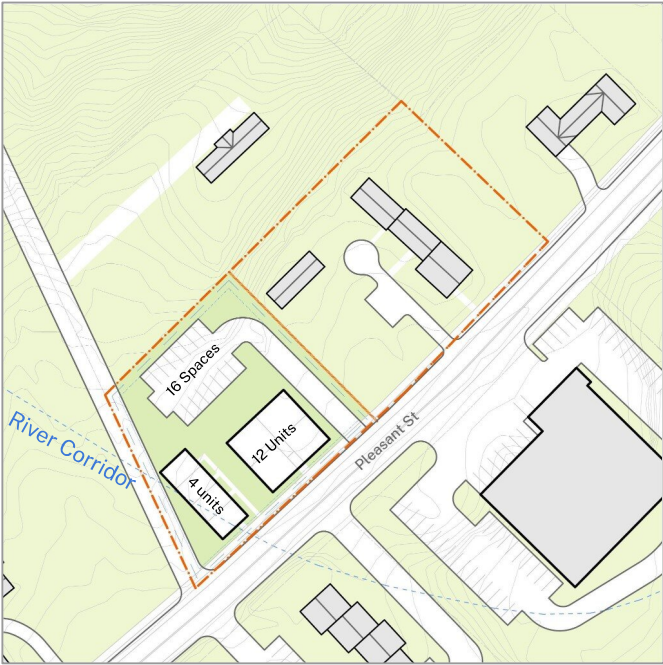


Pleasant St (Subdivided Lot)

ROOT Zones: Transect 2

Site 2: Pleasant St				
Zoning Type	Existing Zoning (Village Mixed Use)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	32,968			
GSF Building	4,200	28,800	16,236	14,400
Retail GSF	0	2,100	0	0
Number of Units	4	21	16	12
Number of Parking Spaces	4	28	16	12
FAR	0.127	0.87	0.49	0.44
DU/Acre	5.3	27.7	21.1	15.9

- Limited by building footprints and site layout constraints
- How to allow subdivision with minimal oversight / review process time

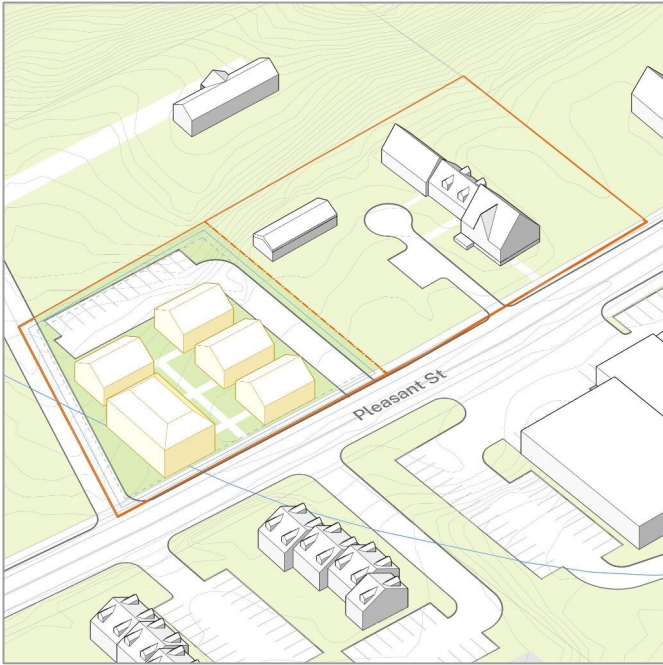
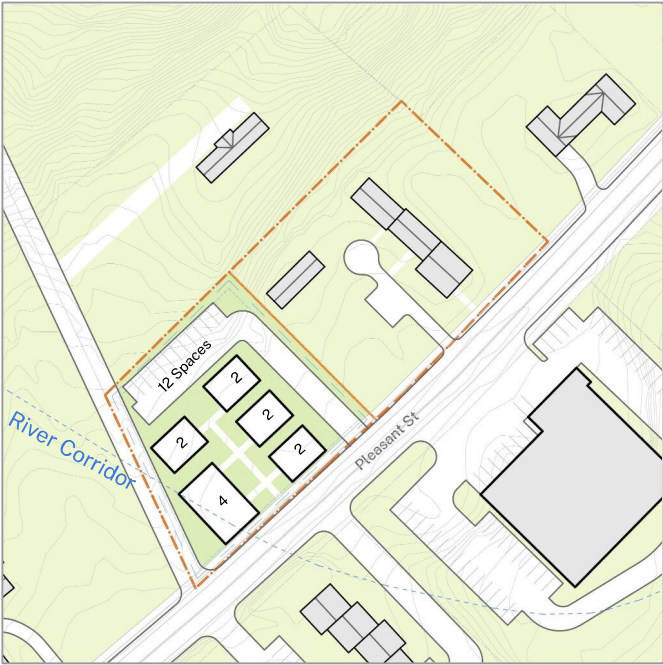


Pleasant St (Subdivided Lot)

ROOT Zones: Transect 1

Site 2: Pleasant St				
Zoning Type	Existing Zoning (Village Mixed Use)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	32,968			
GSF Building	4,200	28,800	16,236	14,400
Retail GSF	0	2,100	0	0
Number of Units	4	21	16	12
Number of Parking Spaces	4	28	16	12
FAR	0.127	0.87	0.49	0.44
DU/Acre	5.3	27.7	21.1	15.9

- Limited by footprint sizes and site layout
- How to incentivize shared parking and usable open space for all units vs shared usable open space
- Shared parking for all units vs. snow considerations?

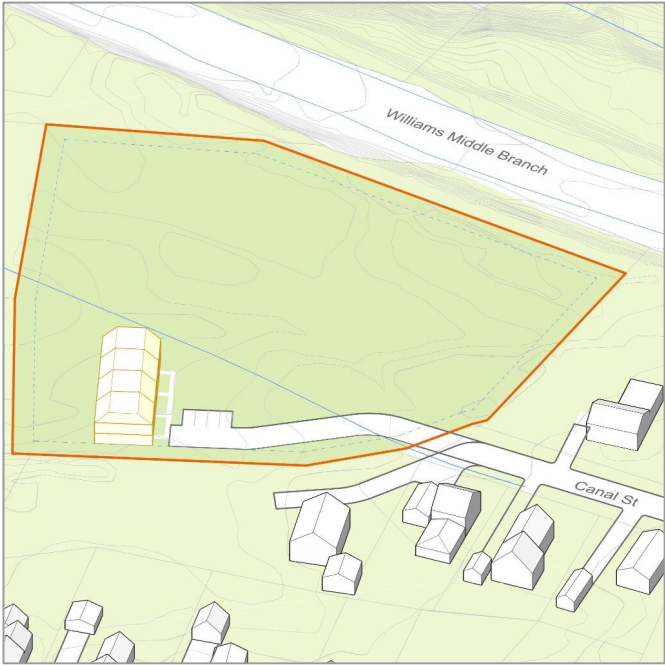


Canal St

Village Center Zoning: Permitted Uses

Site 3: Canal St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		123,741		
GSF Building	8,064	15,300	40,236	36,000
Retail GSF	0	0	0	0
Number of Units	4	17	36	30
Number of Parking Spaces	4	17	36	30
FAR	0.065	0.12	0.33	0.29
DU/Acre	1.4	6.0	12.7	10.6

→ Limited by use, 4-family building



Canal St

Village Center Zoning: Conditional Uses / Cottage Court Standards

Site 3: Canal St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		123,741		
GSF Building	8,064	15,300	40,236	36,000
Retail GSF	0	0	0	0
Number of Units	4	17	36	30
Number of Parking Spaces	4	17	36	30
FAR	0.065	0.12	0.33	0.29
DU/Acre	1.4	6.0	12.7	10.6

→ Limited by maximum of 6 units per acre and all units must be smaller than 900ft, 20' apart

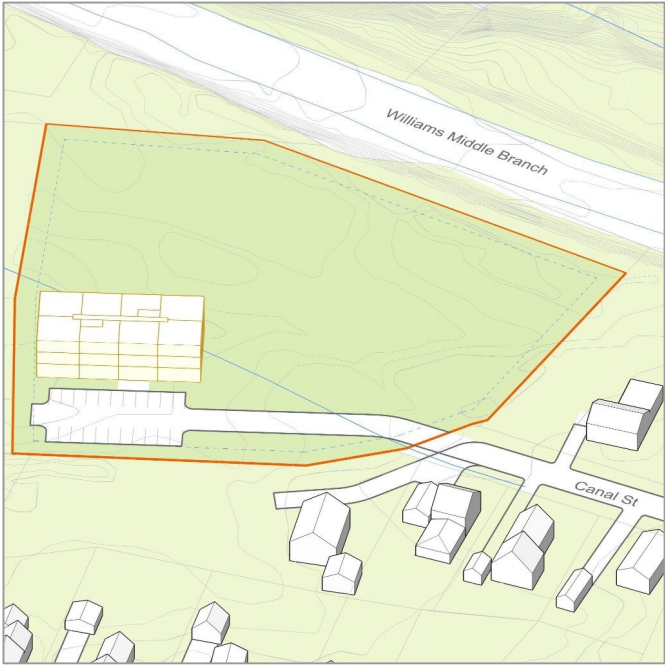


Canal St

Village Center Zoning: Conditional Uses (Version 2)

Site 3: Canal St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)		123,741		
GSF Building	8,064	22,300	40,236	36,000
Retail GSF	0	0	0	0
Number of Units	4	22	36	30
Number of Parking Spaces	4	22	36	30
FAR	0.065	0.18	0.33	0.29
DU/Acre	1.4	7.8	12.7	10.6

→ Limited by total lot size / minimum lot size = total units allowed (PUD regulations)



Canal St

ROOT Zones: Transect 2

Site 3: Canal St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	123,741			
GSF Building	8,064	15,300	42,072	36,000
Retail GSF	0	0	0	0
Number of Units	4	17	40	30
Number of Parking Spaces	4	17	40	30
FAR	0.065	0.12	0.34	0.29
DU/Acre	1.4	6.0	14.1	10.6

- Limited by site layout constraints
- Set a minimum percentage of lot as shared open space?
- Regulations to incentivize shared driveways/parking lots - miniimizing curb cuts?
- Ways to encourage orthogonal intersections?
- Ways to require continuous sidewalks?
- PUD process reform - subdivisions vs multiple buildings on a single lot (site plan review only? Vs full project review)
- Rlver corridor considerations -state vs. local regulation where there has been shoring up of river edge



Canal St

ROOT Zones: Transect 1

Site 3: Canal St				
Zoning Type	Existing Zoning (Village Center)		New Transects	
	Permitted Uses	Conditional Uses	Transect 2	Transect 1
Site Area (SF)	123,741			
GSF Building	8,064	15,300	40,236	36,000
Retail GSF	0	0	0	0
Number of Units	4	17	36	30
Number of Parking Spaces	4	17	36	30
FAR	0.065	0.12	0.33	0.29
DU/Acre	1.4	6.0	12.7	10.6

- Limited by site planning and footprint sizes
- Consider whether to incentivize subdivision / multiple structures on a lot
- Ways to require continuous sidewalks?
- River corridor considerations - state vs. local regulation where there has been shoring up of river edge



Thank You!

